



BUILDING PERMITS - Are required for all porches.

PLAN REQUIREMENTS – Two copies of plan. Plans must indicate the following:

- Existing house and method of connection
- size of the porch, plan view and elevation views required
- joist size & spacing
- size of decking material
- post size and spacing
- beam size
- footing size and depth
- Plan must indicate lot size, size of existing structures, and setbacks from property lines.

***PLEASE NOTE - INCOMPLETE PLANS WILL BE RETURNED – CHANGES MADE TO PLANS AFTER SUBMITTAL WILL RESULT IN AN ADDITIONAL PLAN REVIEW FEE OF \$25.00**

SETBACKS - Decks in *most* residential areas must be 6 feet from the side and rear lot lines (please check your survey or call the City). Decks can not be built on or encroach into an easement. Total square feet of structures can not exceed the percentage identified in that particular zoning district.

FROST FOOTINGS - Are required for all porches. Footings shall be a minimum of 42” deep.

GUARDRAILS - All decks 30 inches or more above grade must have a guardrail at least 36 inches in height and intermediate rail spacing or pattern so that a 4 inch sphere cannot pass through. Guardrails must withstand a 200 pound lateral force.

OVERHANGING DECKS - Joists shall not extend past the beams, nor shall the beams overhang the post unless a special design is approved.

BEAMS - Splices in beam members shall occur over posts. Post to beam connection shall be achieved with shoulder cut and bolts or lags or approved brackets.

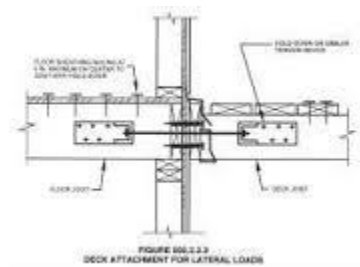
FLASHING – All penetrations to the exterior finish of the house shall be flashed and sealed to be made waterproof. Kick out flashing shall be installed where a roof eave intersects a vertical wall surface

LEDGER BOARDS – 3/8” lag bolts 2 every 16 inches. 1/ 2” lag bolts or greater, staggered every 16 inches. Always 2 lag bolts at ends of ledger(s).

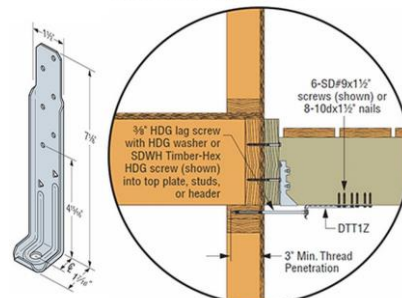
WOOD - All exposed wood shall be approved of natural resistance to decay (redwood, cedar, etc.) or approved treated.

**LATERAL LOAD
DEVICES REQUIRED
BY CODE -**

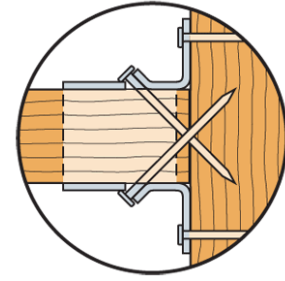
12/15/2016



Lateral Load Connection Device:
Simpson Strong-Tie DTT1



JOIST HANGERS - Joists framing into the side of a wood beam or house ledger shall be supported by joist hangers. Only joist hanger nails may be used in joist hangers with all holes filled (roofing nails and screws are **PROHIBITED**). Galvanized common nails, 2 ½” minimum lengths shall be used in double shear nail holes. Double and Triple hangers are required on Double and Triple members respectively. **DO NOT MODIFY HANGERS.** Use concealed flange hangers at the ends of the ledger. **ANGLE BRACKETS NOT ALLOWED.**



Double Shear Hanger

STAIRWAYS - A stairway with 4 or more risers and less than 30 inches above grade requires a handrail on one side only. Stairways that are more than 30 inches above grade must have guardrails on both sides and at least one handrail. The guardrails shall have intermediate rail spacing or pattern so that a 4 inch sphere cannot pass through.

The handgrip portion of the handrail shall be placed not less than 34 inches nor more than 38 inches above the nosing of the stair treads. The handrail shall not be less than 1 ¼ inches not more than 2 inches in cross section and shall be continuous from a point directly above the top riser to a point directly above the lowest riser of the flight dimension. All handrails shall return or terminate to the newel post or safety terminals.



Concealed Flange Hanger

All risers shall be the same height, including top and bottom risers. The height of the risers can be between 4 inches and 7 ¾ inches high. Minimum tread depth is 10 inches.

All stairways shall be a minimum width of 36 inches.

LIGHTING - All exterior stairways shall be provided with a means to illuminate stairs landing and treads. An artificial light source located in the direct vicinity of the top landing of the stairway is required. As an alternate, the light source may be provided directly over each stairway section.

A solid pad must support stair stringers located at grade.

USE ONLY APPROVED FASTENERS IN METAL CONNECTORS

**POST INSPECTION CARD IN A PROMINENT PLACE.
PERMIT & APPROVED PLANS MUST BE ON SITE AT TIME
OF INSPECTION OR INSPECTION WILL NOT BE COMPLETED.**

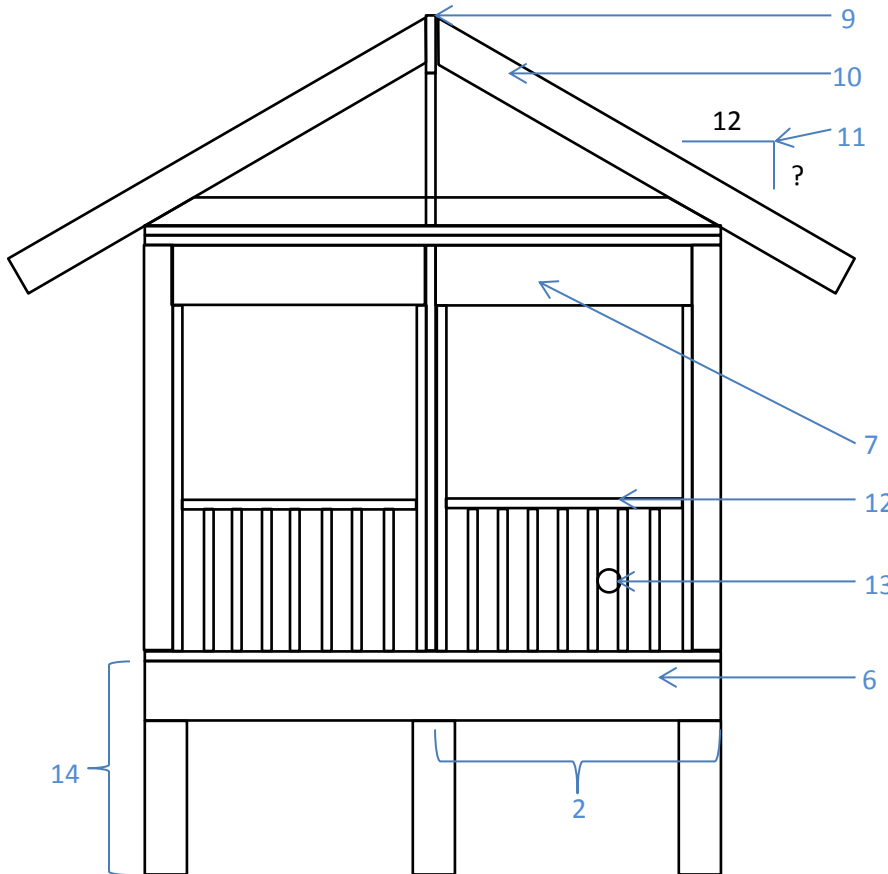
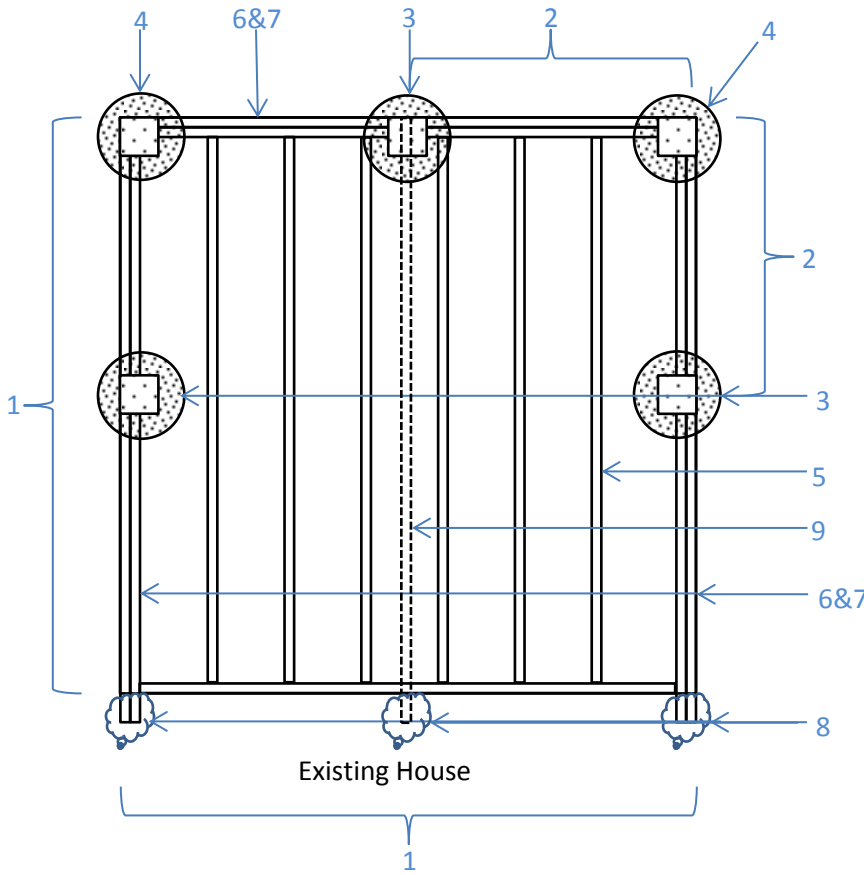
Footings for decks must be inspected and approved **before** any placement of concrete.

Framing inspection is required.

A final inspection must be completed before the deck can be used. All stairways, handrails and guardrails must be completed before the final inspection will be approved.

Inspection hours are 9:00 AM to 3:00PM weekdays. All inspections require a minimum of a 24 hour notice to the Building Inspection Department. Call 651-280-6830 to schedule inspection.

COVERED DECK / SCREEN PORCH WORK SHEET



1. Addition dimensions _____
2. Post spacing _____
3. Intermediate footing size _____
4. Corner footing size _____
5. Joist; size, material, o.c. spacing _____
6. Floor beams; size, material, # of plies _____
7. Roof/wall beams; size, material, # of plies _____
8. Floor and/or roof beams must be let in and bear on existing house foundation _____
9. Ridge beam (if applicable); size, material _____
10. Rafters; size, material
Ceiling Joist; size, material
Engineered roof trusses
o.c. spacing _____
11. Roof pitch _____
12. Guard must be a minimum 36" above walking surface _____
13. Spacing in guard must not allow a 4" sphere to pass through _____
14. Height above grade _____
15. Beam and footing chart are for design reference only. Beams and footings must be verified by structural analysis. _____